



Buckingham Road, Holmwood, Dorking, Surrey, RH5 4LB

£375,000 Freehold

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- SEMI DETACHED COTTAGE
- THREE BEDROOMS
- QUIET RESIDENTIAL LOCATION
- TWO RECEPTION ROOMS
- WEST FACING GARDEN
- KITCHEN/BREAKFAST ROOM
- PERIOD FEATURES
- POTENTIAL TO EXTEND STPP
- GAS CENTRAL HEATING
- NO ONWARD CHAIN

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The Property This attractive three bedroom semi-detached cottage is offered to the market with no onward chain. Located in a popular residential road the property enjoys a mature West facing garden and offers any discerning buyer the potential to update and extend subject to the usual consents.

Accommodation includes an entrance hall providing access to all principal rooms. To the front of the property is the formal sitting room with views to the front garden and beyond. To the rear of the property is the open plan kitchen/breakfast room, offering generous dimensions and views of the rear garden this room has huge potential to become the hub of the home. Steps lead down to a lobby area with ground floor bathroom beyond. A rear door provides access to the rear terrace. Stairs lead to the first floor accommodation where three bedrooms can be found. Bedrooms one and two are generous in size and offer varying aspects to both the front and rear of the property.

Externally the west facing garden is mainly laid to lawn and extends to circa 75 ft. There is a patio area, garden shed and side access is provided.

Situation The property is located between Dorking and Newdigate and moments from Redland Woods, Holmwood Common and Leith Hill with acres of National Trust common land, ideal for dog walking and mountain biking trails.

The villages of North Holmwood and Beare Green are close by and both offer local facilities including shops, schools, churches and a commuter station at Beare Green.

Dorking town offers a comprehensive range of facilities with 5 supermarkets, a well-regarded range of national and local shops and restaurants, the Dorking Halls, which includes a cinema, and adjacent sports centre, doctors surgeries and 3 railway stations with services North, South, East & West.

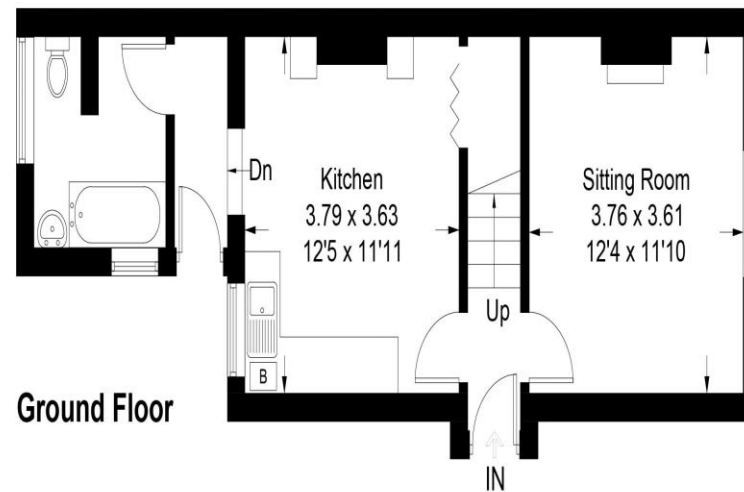
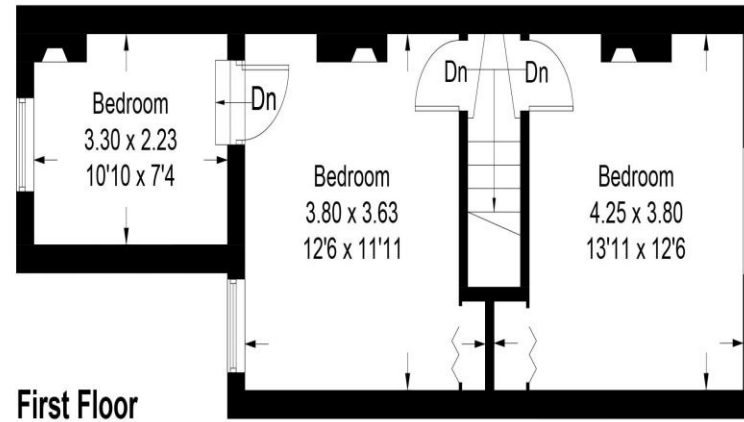
The immediate area offers some of the county's finest walking, riding and cycling countryside with Holmwood Common, Leith Hill, Box Hill, Ranmore, Headley Heath and Norbury Park all close at hand.

Access to the M25 is at Junction's 8 & 9, Reigate and Leatherhead respectively and Gatwick Airport is about 12 miles.





Approximate Gross Internal Area = 81.4 sq m / 876 sq ft



This plan is for layout guidance only. Not drawn to scale unless stated. Windows and door openings are approximate. Whilst every care is taken in the preparation of this plan, please check all dimensions, shapes and compass bearings before making decisions reliant upon them. (ID907565)

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